

# The Animal Care Center

Parce 14 Rem. Estate Carolina, St John, United States Virgin Islands

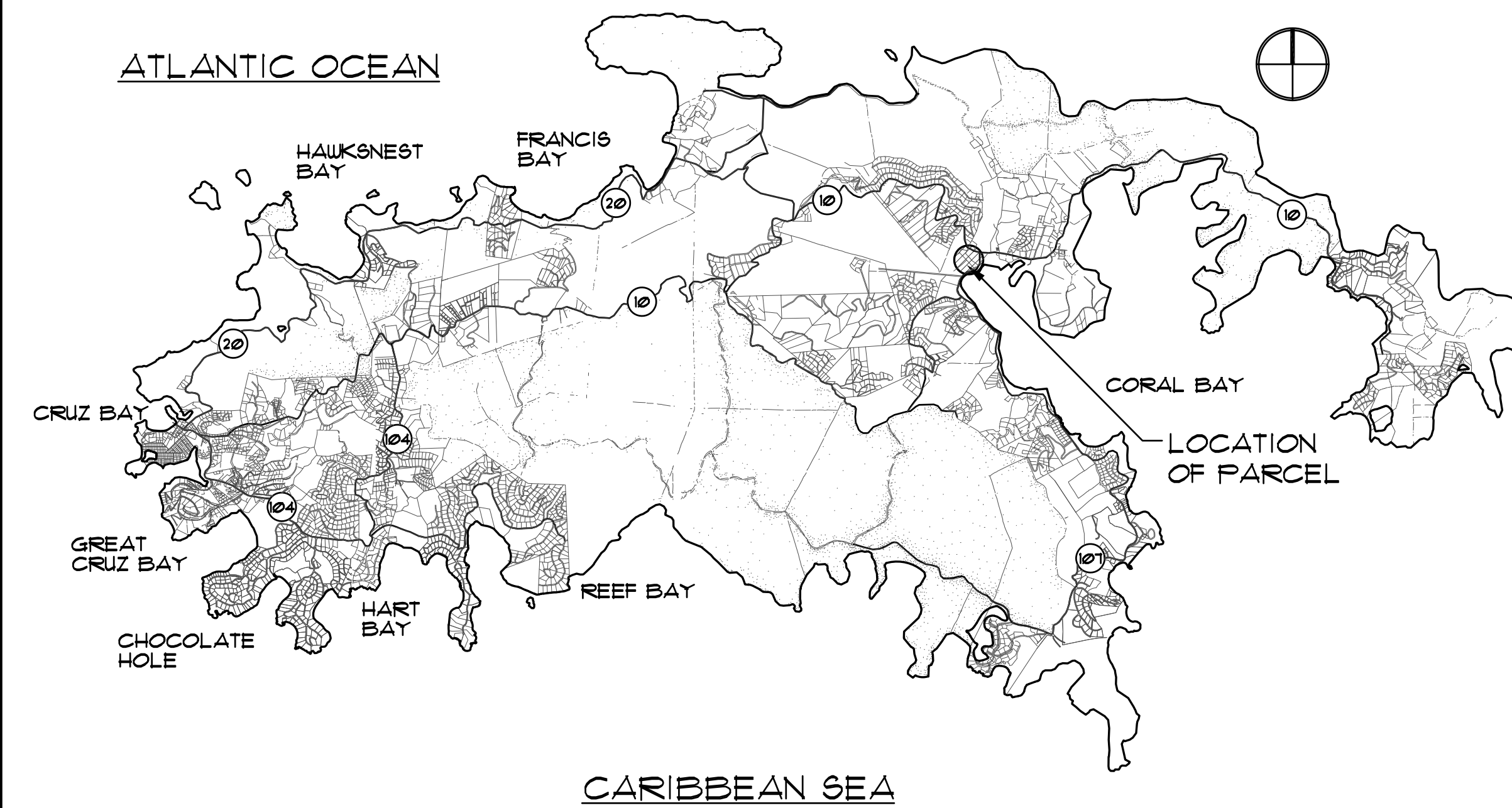
## SYMBOLS:

DETAIL SECTION	DETAIL	
BUILDING SECTION	SHEET DRAWN SECTION	
PLAN/SECTION DETAIL	SHEET DRAWN DRAWING	
EXTERIOR ELEVATION	ELEVATION	
INTERIOR ELEVATIONS	ELEVATION	
DRAWING REFERENCING	SECTION * ELEVATION * DETAIL	
	DRAWING SCALE	
	SHEET DRAWN	
ELEVATION		
DOOR		
WINDOW		
WALL TYPE		
REVISION NUMBER		

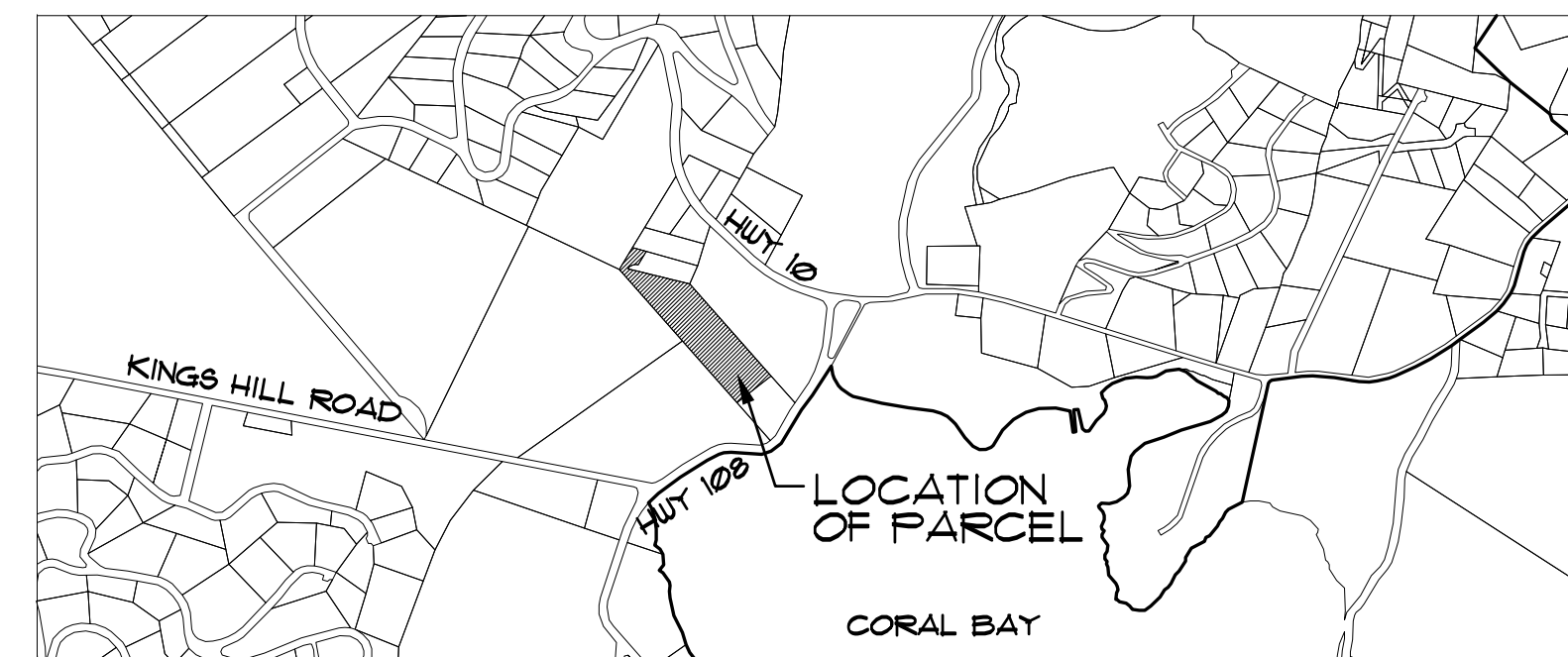
## MATERIAL LEGEND:

COMPACTED FILL	
EARTH	
STONE OR GRAVEL	
CONCRETE DETAIL	
CMU OR STUD WALL	
BRICK	
STEEL	
WOOD FRAMING MEMBER	
WOOD BLOCKING	
PLYWOOD	
WOOD TRIM	
FIBERGLASS INSULATION	
RIGID INSULATION	
GYPSUM WALL BOARD	
TILE	

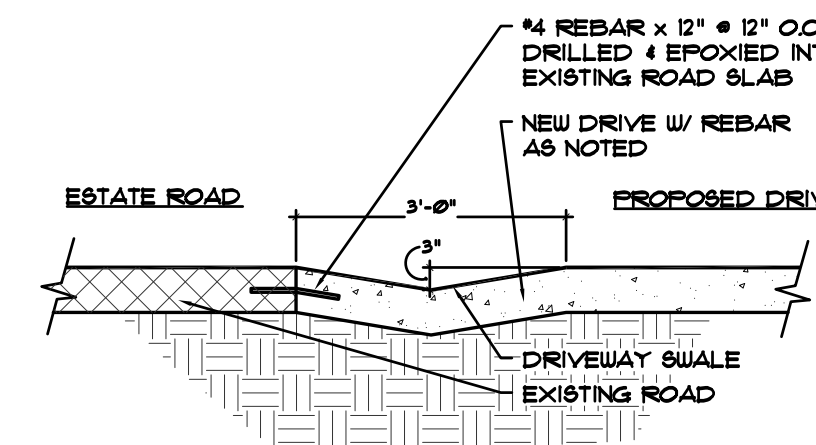
## ISLAND MAP NO SCALE



ISLAND MAP



VICINITY MAP  
SCALE: NOT TO SCALE



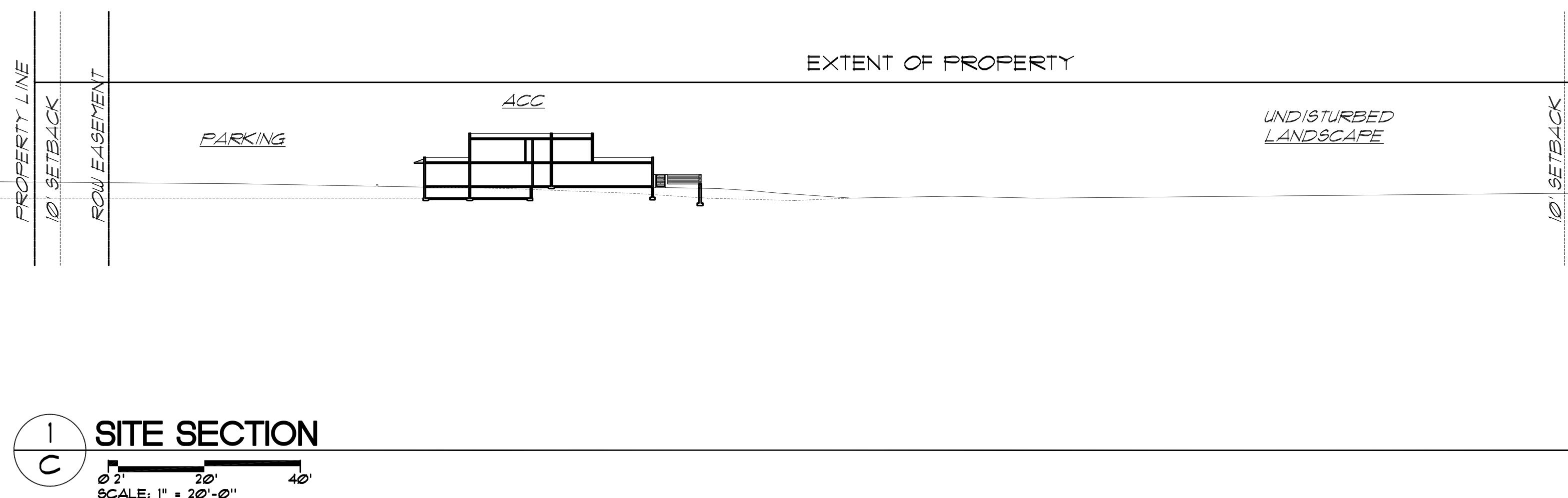
DRIVEWAY SWALE  
SCALE: 3/8" = 1'-0"

## ABBREVIATIONS:

ABV	ABOVE
A/C	AIR CONDITIONING
A.C.T.	ACOUSTICAL TILE
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
AVG	AVERAGE
BLKG	BLOCKING
CL	CENTER LINE
CJ	CONTROL JOINT
CLG.	CEILING
CMU	CONC. MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
C.T.	CERAMIC TILE
D	DRYER
DET	DETAIL
DF	DRINKING FOUNTAIN
DS	DOWNSPOUT
DIA	DIAMETER
EL/ELEV	ELEVATION
EQ	EQUAL
EXT	EXTERIOR
E.W.	EACH WAY
FD	FLOOR DRAIN
GA	GAUGE
GALV	GALVANIZED
GWB	GYPSUM WALLBOARD
HORIZ	HORIZONTAL
LAV	LAVATORY
L.F.	LINEAR FEET
L.V.L.	LAM. VENEER LUMBER
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
M.O.	MASONRY OPENING
MTL	METAL
N.I.C.	NOT IN CONTRACT
NOM	NOMINAL
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
P.L.L.A.M.	PLASTIC LAMINATE
PLYWD	PLYWOOD
PREFAB	PREFABRICATED
P.T.	PRESSURE TREATED
PVC	POLYVINYL CHLORIDE
R.D.	ROOF DRAIN
REF	REFRIGERATOR
REINF	REINFORCING
REQ'D	REQUIRED
REV	REVERSED
ROV	ROUGH OPENING
SF	SQUARE FEET
SIM	SIMILAR
SPEC	SPECIFICATIONS
STD	STANDARD
STL	STEEL
STRUCT	STRUCTURAL
SUB FL	SUB FLOOR
SUSP.	SUSPENDED
T&G	TONGUE AND GROOVE
TEL	TELEPHONE
TEMP.	TEMPERATURE
T.O.S.	TOP OF SLAB
T.O.W.	TOP OF WALL
TYP	TYPICAL
UN.C.	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
V.I.F.	VERIFY IN FIELD
W	WASHER
WH	WATER HEATER
WP	WATERPROOF
W/	WITH
W/W	WELDED WIRE FABRIC
W.I.C.	WALK-IN-CLOSET

## INDEX OF DRAWINGS:

COV	COVER SHEET
A0.0	SITE PLAN & SITE DETAILS
A1.1	FOUNDATION AND MAIN FLOOR PLAN
A1.2	SECOND LEVEL + ROOF FLOOR PLAN
A2.0	ELEVATIONS



SITE SECTION  
SCALE: 1" = 20'-0"

ARCHITECTS OR ENGINEERS SEAL

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## CLIENT:

ANIMAL CARE CENTER OF ST. JOHN  
PO BOX 429  
ST. JOHN, VI 00831

## APPLICANT:

BAREFOOT DESIGN GROUP, LLC  
MONGOOSE JUNCTION  
P.O. BOX 1172  
MONGOOSE JUNCTION  
ST. JOHN, USVI 00831  
(O) 340-693-7665  
(F) 340-693-8411

## ARCHITECT:

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## ENGINEER:

TOTAL ENGINEERING LTD.  
RICHARD TAYLOR  
P.O. BOX 3891  
SEA COWS BAY  
TORTOLA, BVI  
(O) 284-494-2987  
(F) 284-494-0715

## SURVEYOR:

MARVIN BERNING & ASSOC.  
6501 RED HOOK PLAZA  
SUITE 201  
ST. THOMAS, USVI 00802  
(O) 340-775-6557  
VISURVEY@VIACCESS.NET

## DISTRIBUTION:

12/9/19 CZM/DRIVEWAY SET

THE ANIMAL CARE CENTER

Barefoot Design Group, LLC

**AS SERIES - AEROBIC TREATMENT UNIT (ATU)**

**PRODUCT INFORMATION**  
AQUA SAFE  
P.O. BOX 1165  
ST. JOHN VI 00831  
(340) 513-9919  
WWW.STJANBOTANIC.COM

**CONSTRUCTION**  
PREMANUFACTURED  
OF 1/2 INCH  
FIBERGLASS.

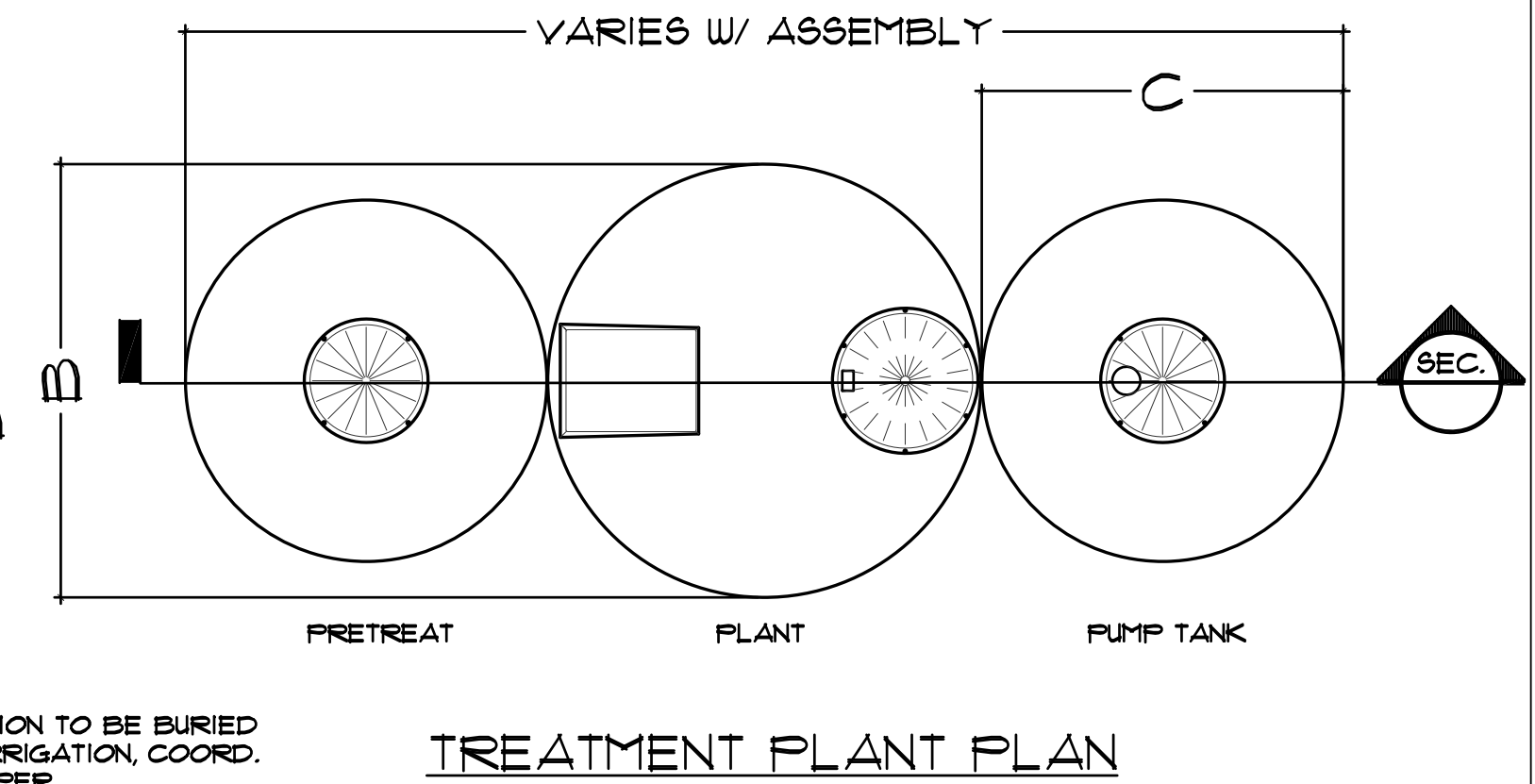
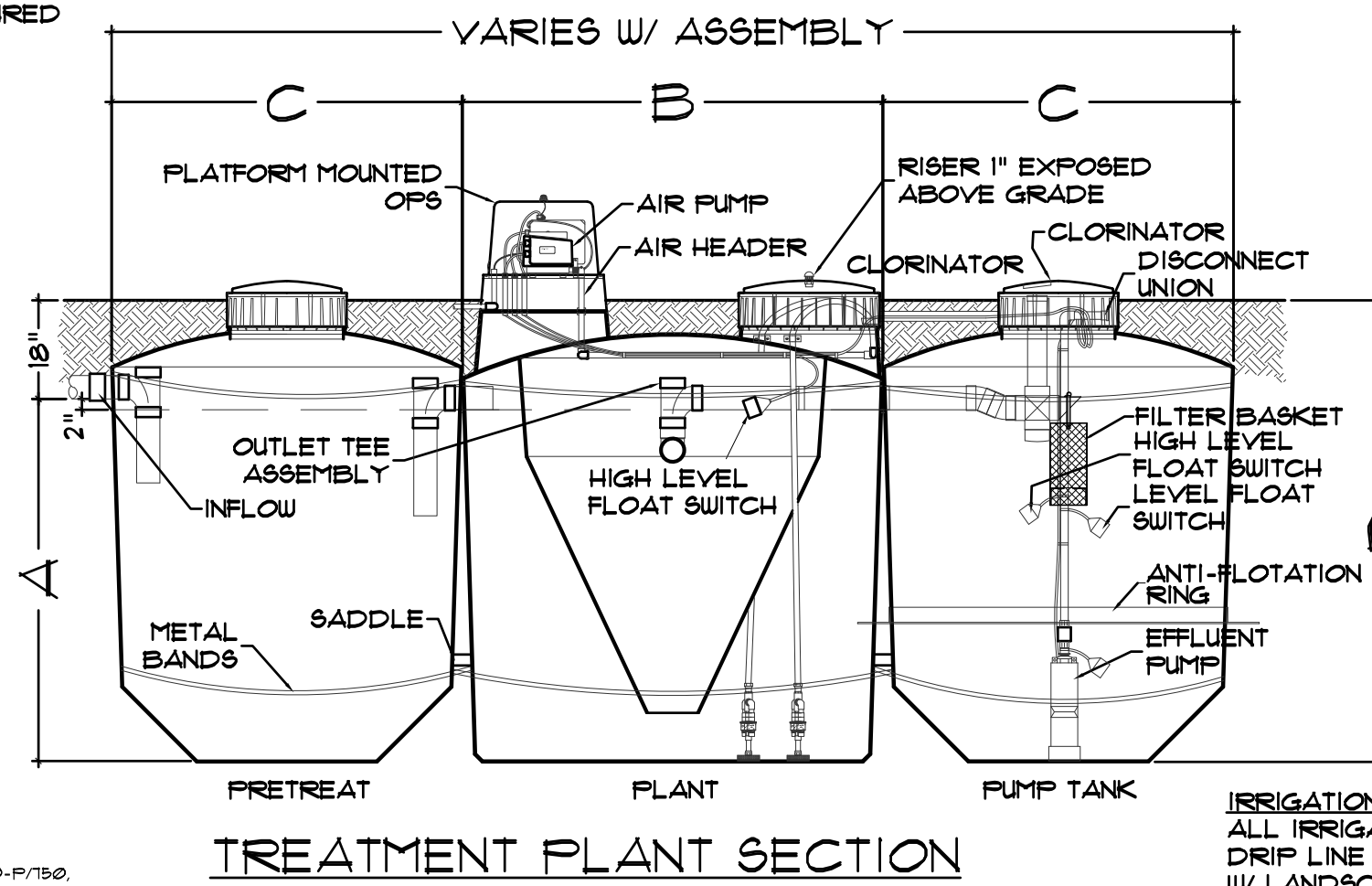
**REQUIRED SYSTEM CHART**

No. of BEDROOMS	PLANT SIZE	Gal. per DAY
1 or 2	A8500-P	500 gpd
3	A6600-P	600 gpd
4 or 5	A8150-P	750 gpd
6 or MORE	REQS MULTIPLE UNITS	

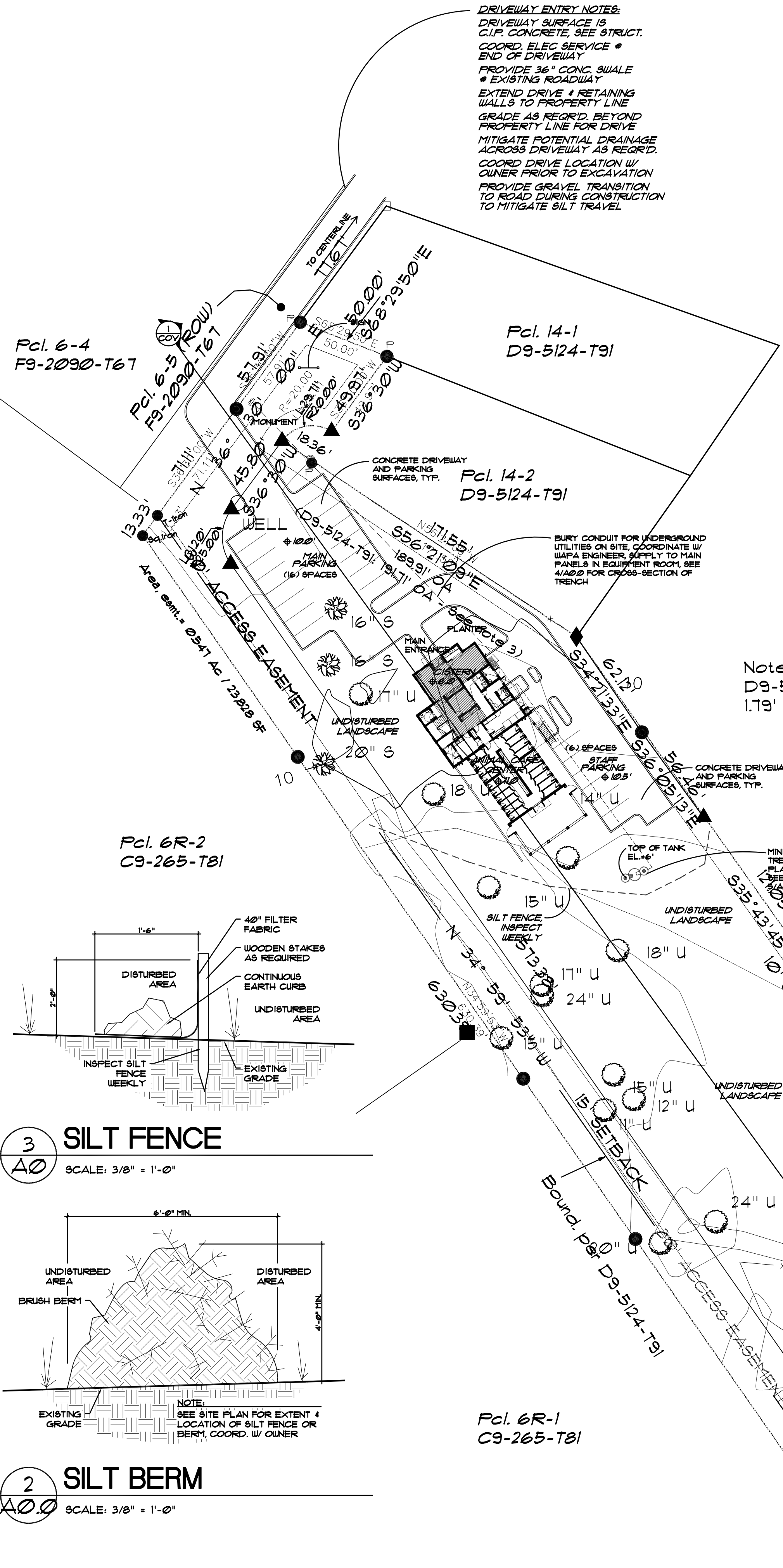
**COMPONENT DIMENSIONS**

UNIT SIZE	A	B	C	D
500 gal. PLANT	5'-6"	5'-5"	--	1'-0"
600 gal. PLANT	5'-6"	5'-11"	--	1'-0"
750 gal. PLANT	5'-6"	6'-5"	--	1'-0"
300 gal. FT/PUMP	5'-6"	--	3'-4"	1'-0"
500 gal. FT/PUMP	5'-6"	--	4'-4"	1'-0"
750 gal. FT/PUMP	5'-6"	--	5'-4"	1'-0"

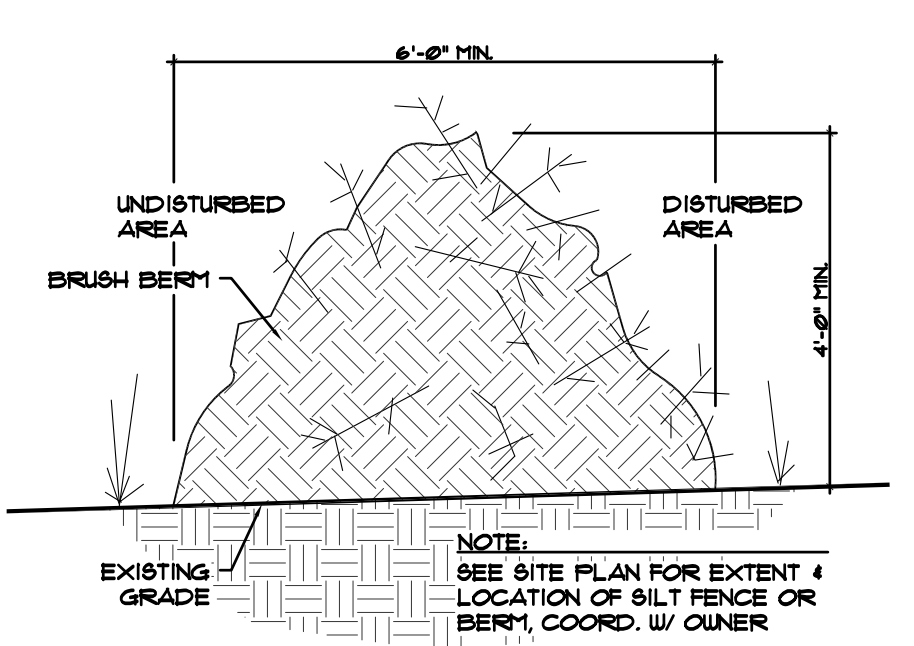
PACKAGE OPTIONS:  
300/AS600-P/300, 300/AS500-P/300, 500/AS600-P/500, 500/AS500-P/500, 750/AS600-P/750, 750/AS500-P/750



**4 MINI-TREATMENT SEPTIC TANK DETAILS**  
SCALE: 3/8" = 1'-0"



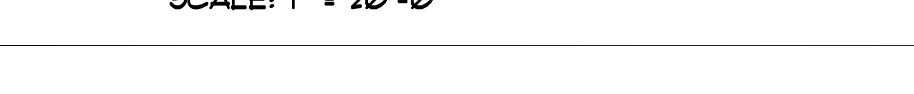
**3 SILT FENCE**  
SCALE: 3/8" = 1'-0"



**2 SILT BERM**  
SCALE: 3/8" = 1'-0"



**1 SITE PLAN**  
SCALE: 1" = 20'-0"



**SITE NOTES:**

- Contractor shall visit the site to verify plan and existing dimensions and conditions and shall notify the Architect and or Engineer, in writing, of discrepancies before proceeding with the work. Contractor accepts responsibility for information reasonably inferred from site visit and from information provided.
- Notify Planning and Natural Resources within 48 hours of commencement of work.
- Provide signage visible and accessible from road with estate parcel number and all required permit information.
- Erosion control shall be implemented as required by local authorities. During construction provide siltation fence or brush berm at all excavated areas.
- Site disturbance shall be limited as close as possible to the area of construction. Natural slopes shall be retained as much as possible.
- Trees shall be retained where possible and protected from damage of construction processes and machines during construction. Where tree removal is required, stumps shall be removed.
- Maintain 3% minimum slope away from building for at least five (5) feet from the perimeter. Natural drainage shall not be concentrated or diverted onto adjacent property or public right of way.
- The top of the septic tank shall be located at a lower elevation than the bottom of the cisterns.
- Retaining walls shall be erected where shown or as required. They shall be constructed of reinforced concrete, reinforced concrete masonry, or stone and to a height required for negative soil.
- New exterior walls, patios, driveways, etc., shall be constructed on a minimum of 4" of compacted, non-expansive soil.
- Soil beneath slabs and of perimeter or foundations shall be treated for termites before placing concrete. Soil and perimeter shall be treated at completion of work. An approved termite exterminator shall poison the ground in accordance with the Building Research Advisory Board report and provide a five (5) year warranty of his work, covering repair and replacement of termite damage.
- Low maintenance ground cover such as Ulexella or Goats Foot shall be planted on all cut/fill slopes and other disturbed grades as final grades are established within three (3) months of construction.
- Footings design is based on the following conditions:  
SOIL BEARING CAPACITY: Minimum assumed 3000 psf, this value is to be verified in the field prior to pouring footings by the Structural Engineer.  
SOILS: Footings, foundations walls & slabs shall not be placed on or in marine clay, peat or other organic materials.  
All footings shall project at least 1'-0" into undisturbed natural soil or compacted structural fill. Where required, step footings in a ratio of 2 horizontal to 1 vertical.
- Compact backfill below building slabs and footings: Soil fill material must be approved by the Structural Engineer prior to placement. Material to be free from organic material, concrete, asphalt or other deleterious substances. Prior to placing fill, the existing surface shall be cleared of refuse or organic materials. Prohibit subgrade removal of soft or compressive materials. Fill material shall be placed in layers not to exceed 8" and compacted to minimum 95% of the dry maximum density as determined by ASTM D698.
- Footings excavations shall be inspected by the building official prior to pouring concrete.
- Provide 4" minimum porous pipe at exterior side of all exterior footings at basement walls. Tile to be set on 2" gravel bed with 6-8" gravel cover and should drain to daylight. Install filter fabric around gravel and drain tile.
- Provide free draining granular backfill with a maximum equivalent fluid pressure = 30 pcf per foot of depth against basement & retaining walls. If back-fill pressure exceeds 30 pcf then wall must be designed for actual pressures by the Structural Engineer.
- Final grading around new construction shall be included in the contract for construction. Save and store topsoil in a manner as to provide it and prevent its loss through runoff. Topsoil shall be placed in an approved manner. Bringing soil to or removing soil from the site as needed is considered the responsibility of the General Contractor and to be included in this Contract.
- Elevations on the drawings are referenced to the benchmark on the site plan.
- During the initial excavation of the site, the Architect is to be on site to assist in the placement of large boulders for future decorative use. During the excavation for foundations, the structural engineer is to be present to inspect soil. It is understood that the engineer will adjust the structure as necessary. Construction of the foundation will not begin without permission from the Structural Engineer.

**GENERAL NOTES:**

- ALL CONSTRUCTION INCLUDING MATERIALS AND WORKMANSHIP SHALL COMPLY TO ALL APPLICABLE GOVERNING CODES AND REGULATIONS.
- THE OWNER SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS PRIOR TO STARTING WORK AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- WORKING DIMENSIONS SHALL NOT BE SCALED FROM THE DRAWINGS.
- OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS CONTAINED IN THE DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/ENGINEER. THE SOLUTION IS TO BE AGREED UPON BEFORE PROCEEDING WITH THE WORK.
- IF A SPECIFIC DETAIL IS NOT SHOWN FOR ANY PART OF THE WORK, THE CONSTRUCTION SHALL BE SIMILAR WORK ON THE PROJECT.
- ELEVATIONS ON THE DRAWINGS ARE REFERENCED TO THE SITE PLAN.
- ALL JOINTS AND PENETRATIONS IN THE BUILDING ENVELOPE SHALL BE SEALED WITH THE APPROPRIATE TYPE OF CAULK OR SEALANT.

**PROJECT TEAM:**

<b>PROJECT APPLICANT:</b>	BAREFOOT DESIGN GROUP, LLC P.O. BOX 1172 ST. JOHN, USVI 00831 TEL: (340) 693-1665, FAX: (340) 693-8411
<b>PROJECT OWNER:</b>	ANIMAL CARE CENTER OF ST. JOHN P.O. BOX 423 ST. JOHN, VI 00831
<b>PROJECT ARCHITECT:</b>	BAREFOOT DESIGN GROUP, LLC P.O. BOX 1172 ST. JOHN, USVI 00831 TEL: (340) 693-1665, FAX: (340) 693-8411
<b>STRUCTURAL ENGINEER:</b>	TOTAL ENGINEERING LTD. 6501 RED HOOK PLAZA, SUITE 201 TORTOLA, BVI TEL: (284) 494-2981, FAX: (284) 494-0718
<b>SURVEYOR:</b>	MARVIN BERNING and ASSOCIATES 6501 RED HOOK PLAZA, SUITE 201 ST. THOMAS, USVI 00802 TEL: (340) 715-6551

**SITE INFORMATION:**

<b>PLOT:</b>	PARCEL NO. 14 Rem.
<b>ESTATE:</b>	EST. CAROLINA
<b>ISLAND:</b>	ST. JOHN, USVI.
<b>ZONING:</b>	R-2
<b>PROPOSED USE:</b>	RESIDENTIAL
<b>AREA OF LOT:</b>	2,309 ACRES BY THIS SURVEY
<b>BUILDING FLOOR AREA:</b>	5,503 SF.
<b>BUILDING FOOT PRINT: (INCL. VERANDAS, POOL)</b>	3,128 SF.
<b>FLOOR AREA RATIO (FAR)</b>	5.5% (HOUSE AREA/LOT AREA)
<b>NUMBER OF ON-SITE PARKING SPACES:</b>	22 SPACES
<b>SET BACK FROM STREET PROPERTY LINE:</b>	15'-0", SEE SITE PLAN
<b>SET BACK FROM SIDE PROPERTY LINE:</b>	10'-0", SEE SITE PLAN
<b>SET BACK FROM REAR PROPERTY LINE:</b>	10'-0", SEE SITE PLAN

**BUILDING TABULATIONS:**

<b>CISTERN LEVEL AREA:</b>		
<b>INTERIOR SPACE</b>	0 SF.	636 SF.
<b>CISTERN</b>		
<b>MAIN LEVEL AREA:</b>		
<b>ACC INTERIOR SPACE</b>	3,382 SF.	
<b>COVERED EXTERIOR VERANDAS</b>		29 SF.
<b>UNCOVERED EXTERIOR VERANDAS</b>		0 SF.
<b>GARAGE, STORAGE, EQUIPMENT ROOF</b>		285 SF.
<b>UPPER LEVEL AREA:</b>		
<b>ACC INTERIOR SPACE</b>	1,934 SF.	
<b>CARETAKER INTERIOR SPACE</b>		121 SF.
<b>COVERED EXTERIOR VERANDAS</b>		131 SF.
<b>TOTAL HABITABLE (INTERIOR) AREA</b>	<b>5,503 SF.</b>	

**CISTERN REQUIREMENTS:**

<b>ACC ROOF AREA:</b>	2,655 SF.	11,941 GAL.
2,655 x 4.58F. x 4.5 GAL. SF.		
<b>RESIDENTIAL ONE STORY ROOF AREA:</b>	121 SF.	1,210 GAL.
121 SF. x 10 GAL. SF. (1 STORY ROOF)		
<b>TOTAL CISTERN REQUIREMENTS</b>	<b>19,211 GAL.</b>	

**CISTERN CAPACITY:**

<b>CISTERN #1:</b>	233 SF x 4'-0" = 932 CF. x 15 GAL./CF.	6,990 GAL.
<b>CISTERN #2:</b>	321 SF x 4'-0" = 1,284 CF. x 15 GAL./CF.	9,630 GAL.
<b>CISTERN #3:</b>	384 SF x 4'-0" = 1,536 CF. x 15 GAL./CF.	11,520 GAL.
<b>TOTAL FRESH WATER CISTERN CAPACITY</b>		<b>28,140 GAL.</b>

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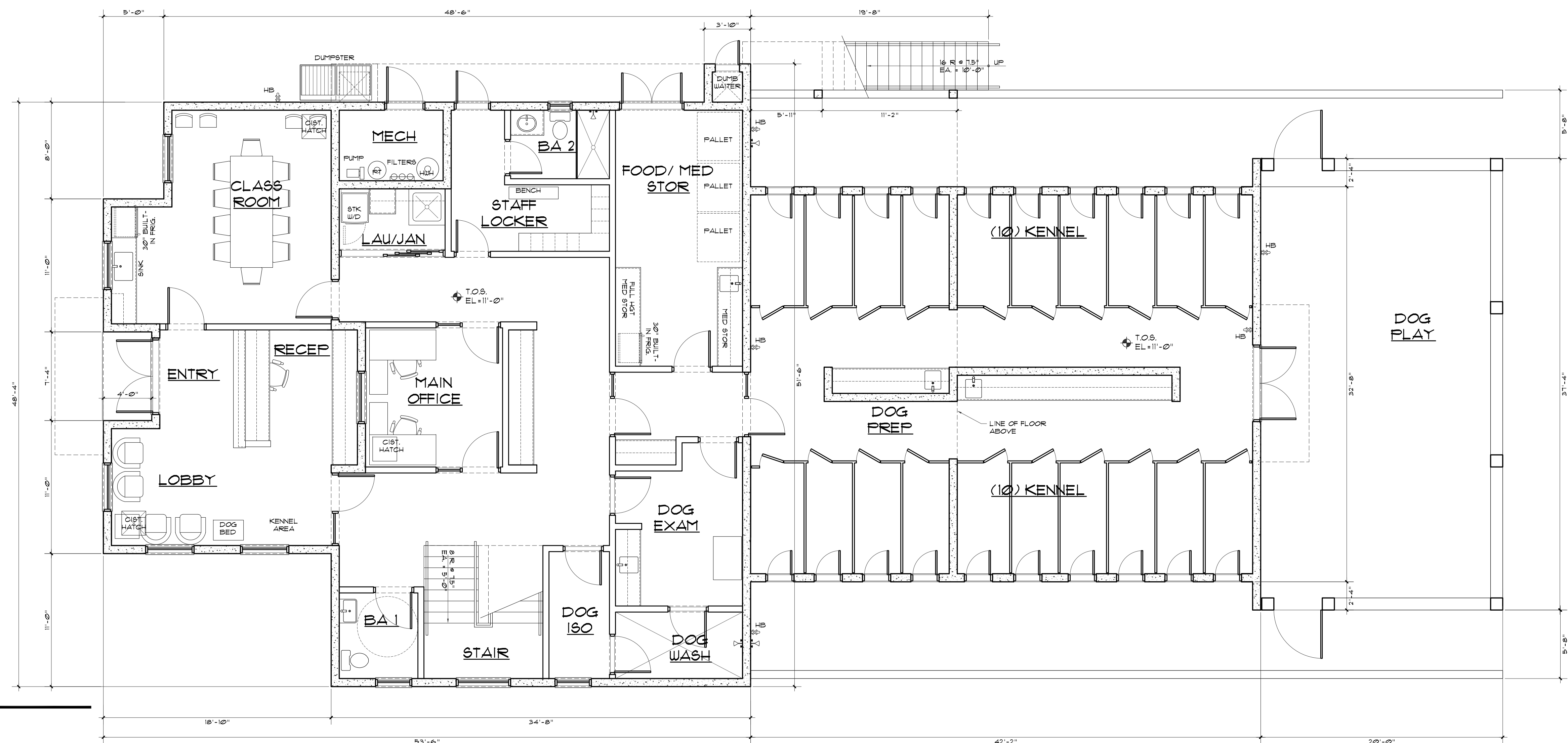
**DISTRIBUTION**

NO.	DATE	ITEM
1	12/19/18	C214/Driveway Set
2	1/15/19	Owner's Review

**PROJECT DATA**  
SITE PLAN and  
DETAILS

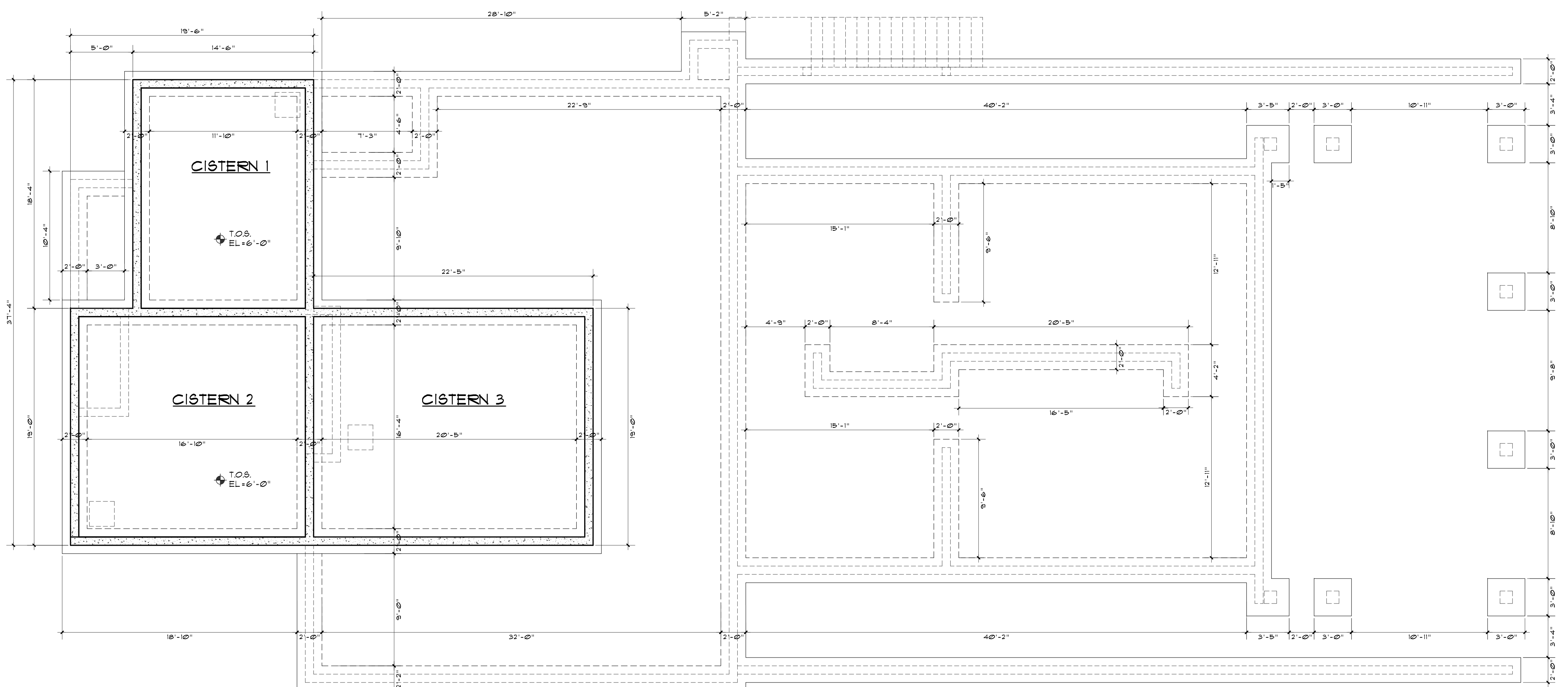
**SHEET #**  
**A0.0**





2 MAIN LEVEL FLOOR PLAN

SCALE: 3/16" = 1'-0"



1 FOUNDATION + CISTERN PLAN

SCALE: 3/16" = 1'-0"

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DISTRIBUTION

NO.	DATE	ITEM
2	12/13/18	C24-Driveway Set
1	11/15/18	Owner's Review

DRAWING TITLE:  
**CISTERN + FIRST LEVEL FLOOR PLAN**

SHEET #  
**A1.1**

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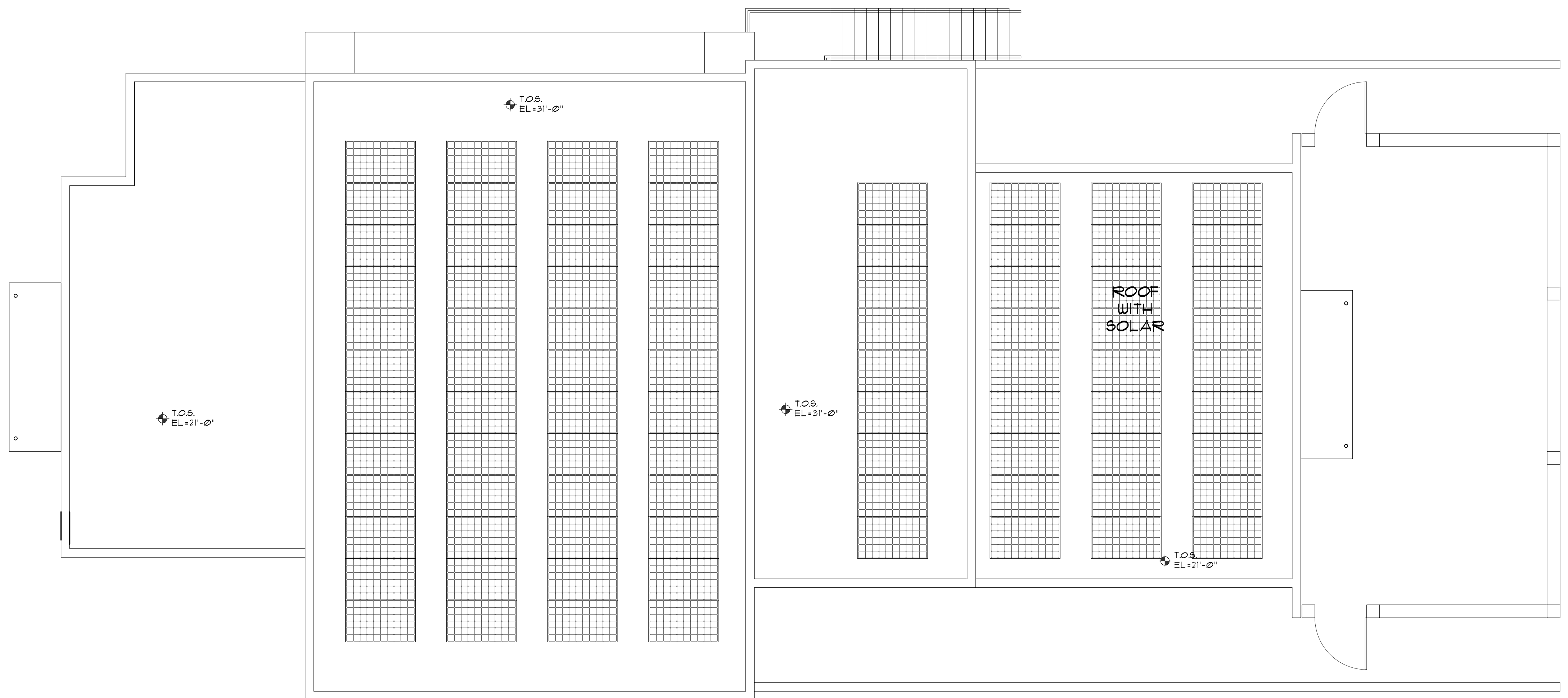
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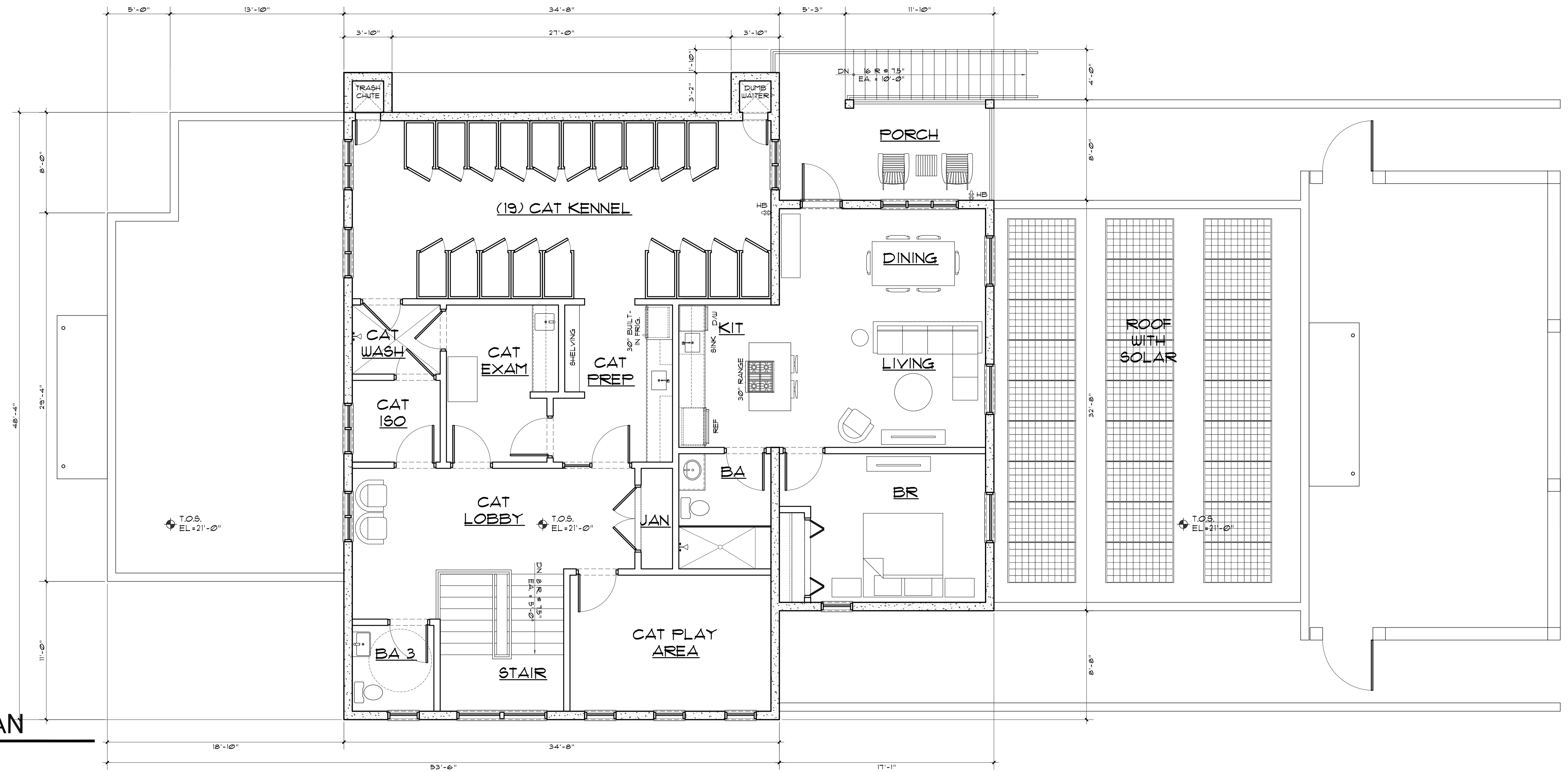
NO.	DATE	ITEM
2	12/19/18	C214/Driveway Set
1	12/15/18	Owner's Review

DRAWING TITLE:  
**SECOND LEVEL  
+ ROOF FLOOR  
PLAN**

SHEET #  
**A1.2**



**2** ROOF PLAN  
A1.2  
SCALE: 3/16" = 1'-0"



**1** SECOND LEVEL FLOOR PLAN  
A1.2  
SCALE: 3/16" = 1'-0"

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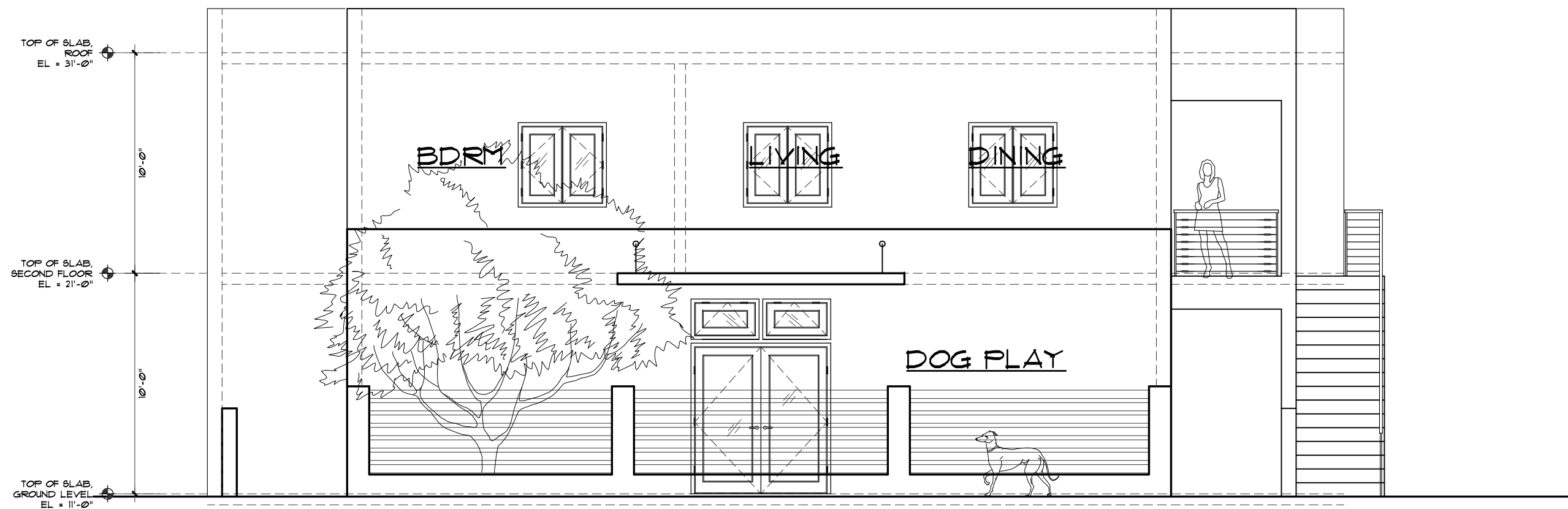
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**Barefoot Design Group, LLC**  
P.O. box 1772 mongoose junction st. john usvi 00831 (340) 693-7665

DISTRIBUTION

NO.	DATE	ITEM
2	6/15/18	C2H/Driveway Set
1	5/15/18	Owner's Review

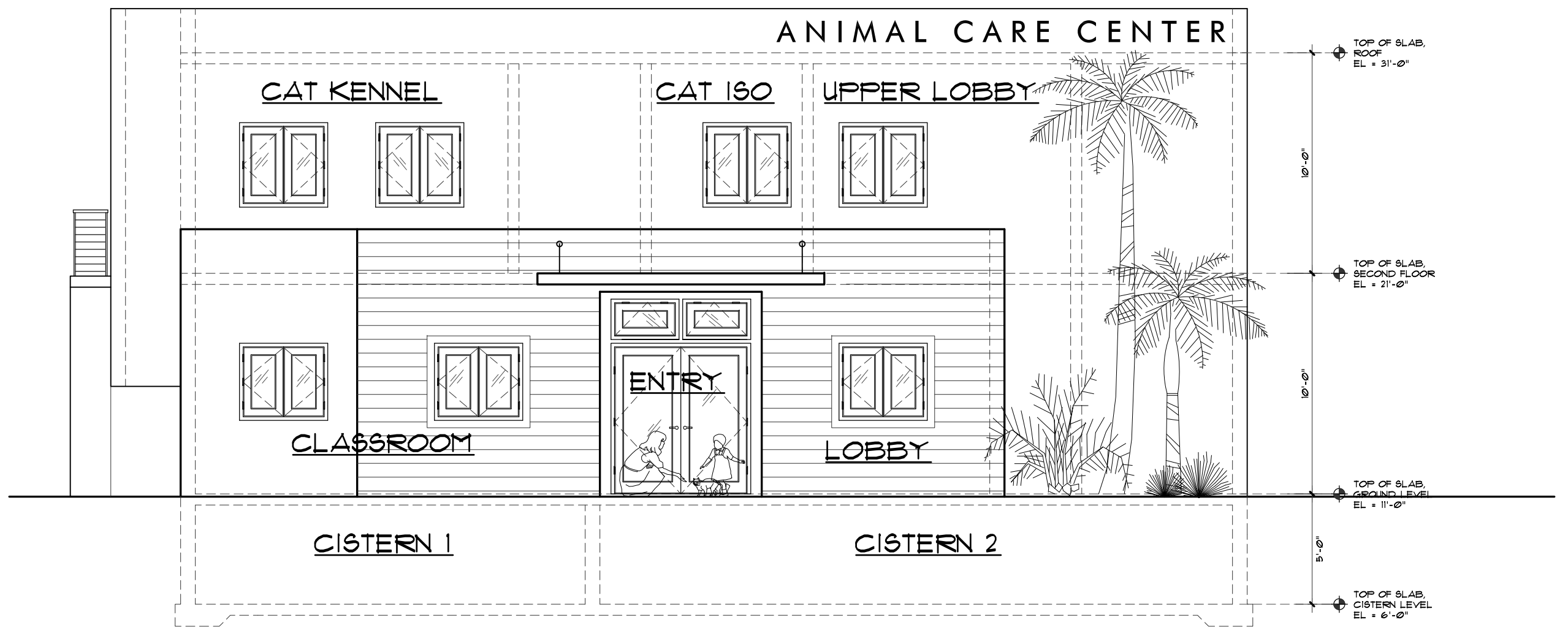
DRAWING TITLE  
**ELEVATIONS**

SHEET #  
**A2.0**



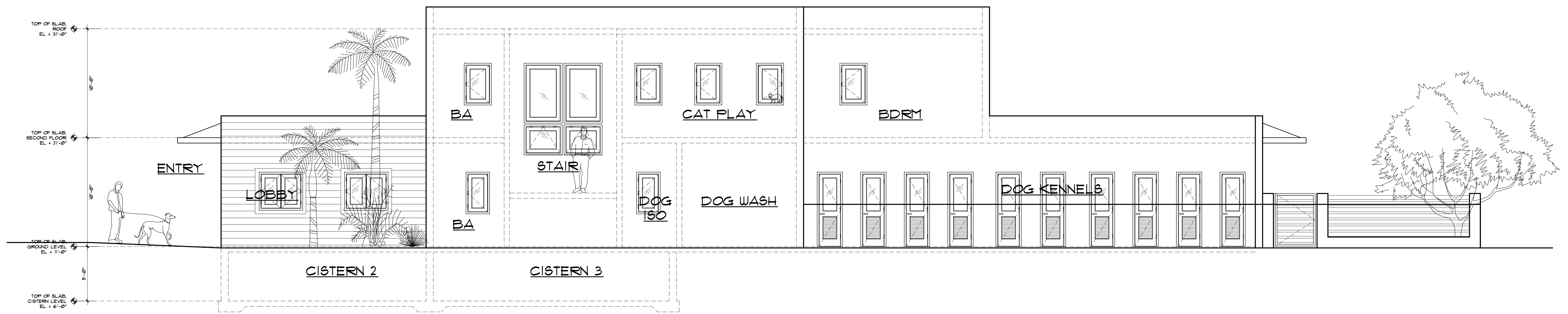
**4** SOUTHEAST EXTERIOR ELEVATION

A2.0  
SCALE: 3/16" = 1'-0"



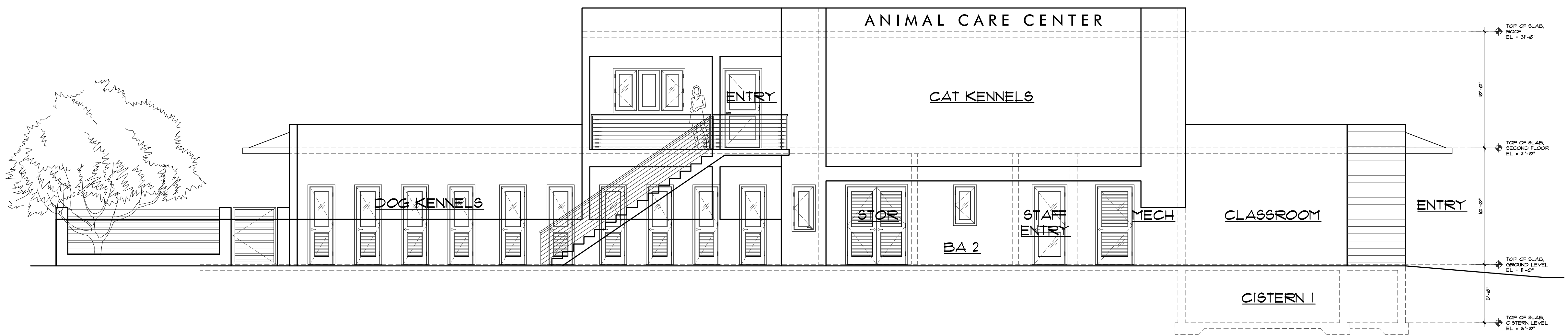
**3** NORTHWEST EXTERIOR ELEVATION

A2.0  
SCALE: 3/16" = 1'-0"



**2** SOUTHWEST EXTERIOR ELEVATION

A2.0  
SCALE: 3/16" = 1'-0"



**1** NORTHEAST EXTERIOR ELEVATION

A2.0  
SCALE: 3/16" = 1'-0"